

Item D2

Demolition of entrance/ office extension and timber classrooms and construction of two storey extension to existing school building. Sussex Road School, Tonbridge – TM/07/199

A report by Head of Planning Applications Group to Planning Applications Committee on 15 May 2007.

TM/07/199 – Demolition of entrance and office extension and 4 timber classrooms and construction of new 2 storey extension including 6 classrooms, staff room, and head teachers office, and provision of temporary classrooms and administration facilities during construction. Sussex Road School, Sussex Road, Tonbridge – TM/07/199

Recommendation: Permission be granted.

Local Members: Mr G. Horne and Dr. T. Robinson

Classification: Unrestricted

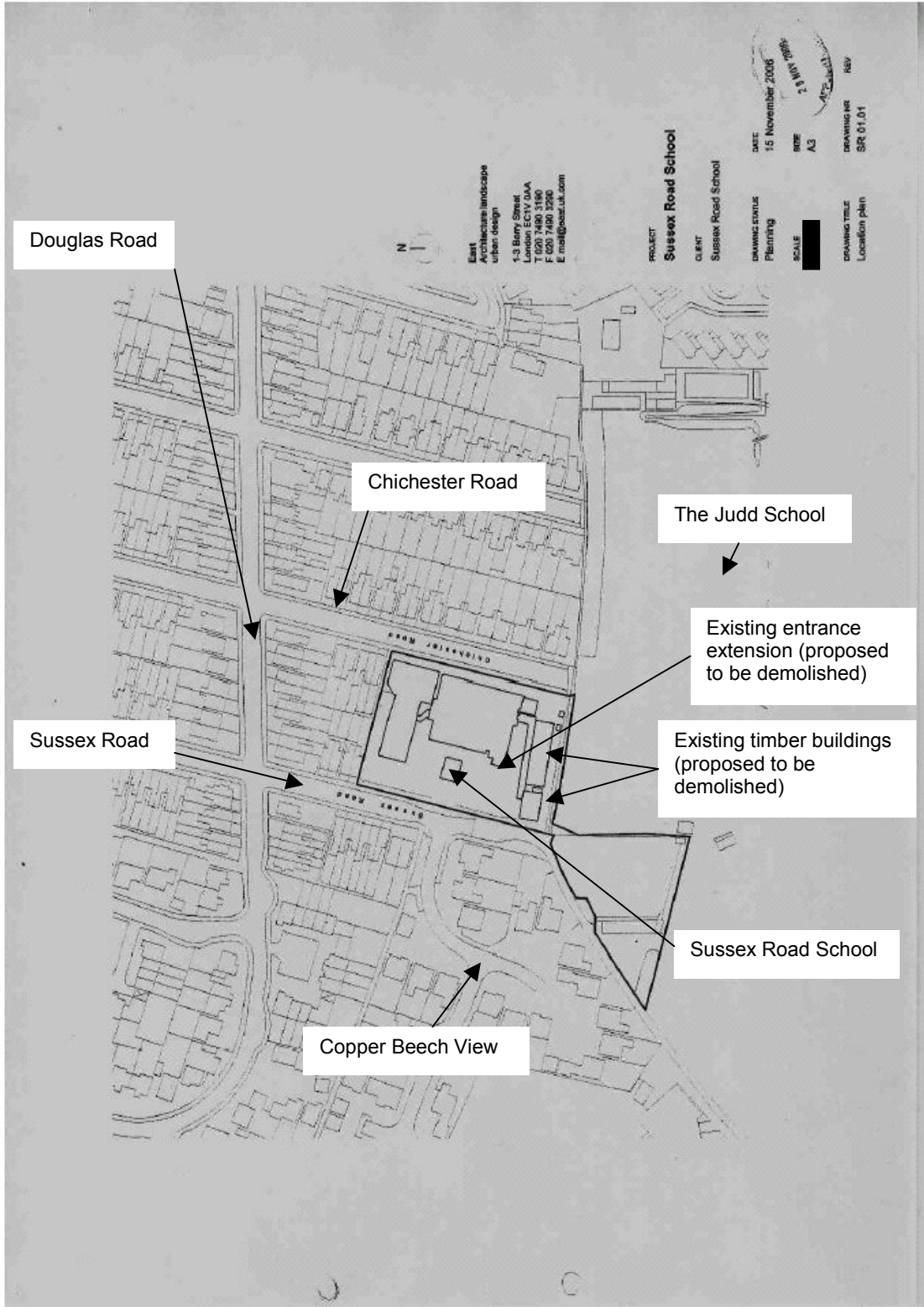
Site

1. Sussex Road School is located at the southern end of Sussex Road, approximately 0.5 km to the south west of Tonbridge town centre. The school site is located between Sussex Road and Chichester Road, with the pedestrian and vehicular access points off Sussex Road. The existing built development on site consists of the original Victorian school building, a large 1990s extension to the north that picks up on the architecture of the original building, a number of flat roofed extensions to the south, and two timber buildings along the southern boundary. The application site proposed to be developed is located to the south of the main school building, and consists of an area that is currently occupied by playground space, a flat roofed extension to the original school building and the two timber buildings. Two oak trees are located within the school grounds on the boundary with Chichester Road, adjacent to the proposed site; neither tree is subject to a Tree Preservation Order. The school site is surrounded by residential properties to the north, east and west, with the Judd School grounds located to the south (see attached plan). The closest residential property to the proposed building would be located approximately 19 metres to the east in Chichester Road.
2. There are no site-specific land designations within the Development Plan in association with the site.

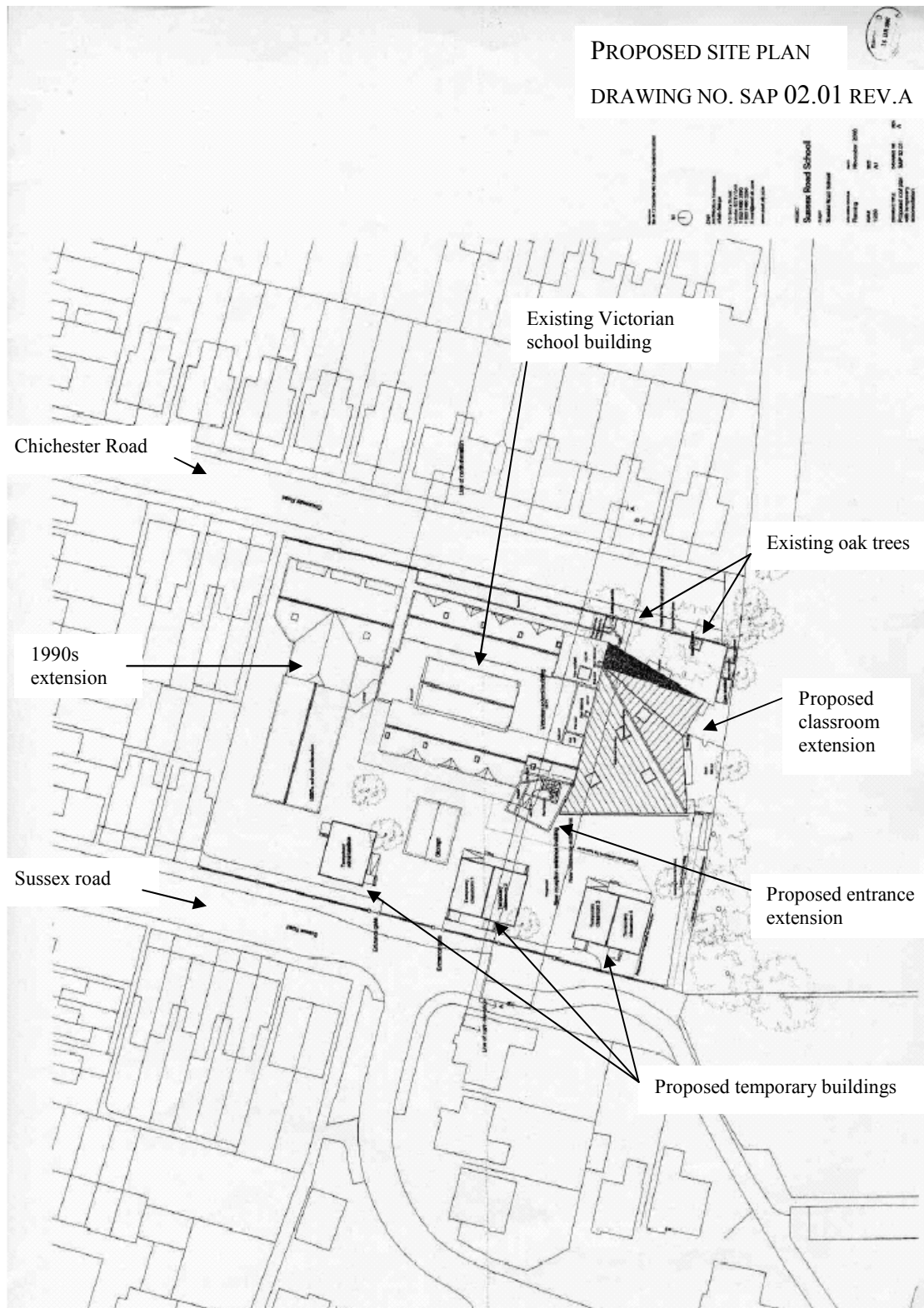
Background

3. The recent planning history for the site includes the development of a retractable awning to the south side of the existing school building, permitted on part of the site of the current application under planning reference TM/04/2323. The County Planning Authority also permitted a major extension to the north of the original school building in 1998 (reference TM/98/2243). This development included the provision of a 2-storey block replacing 6 classrooms previously accommodated in timber buildings, and the provision of a new hall and refectory. The entrance extension and timber classrooms proposed for demolition as part of the current application have been in position on site for over 25 years.

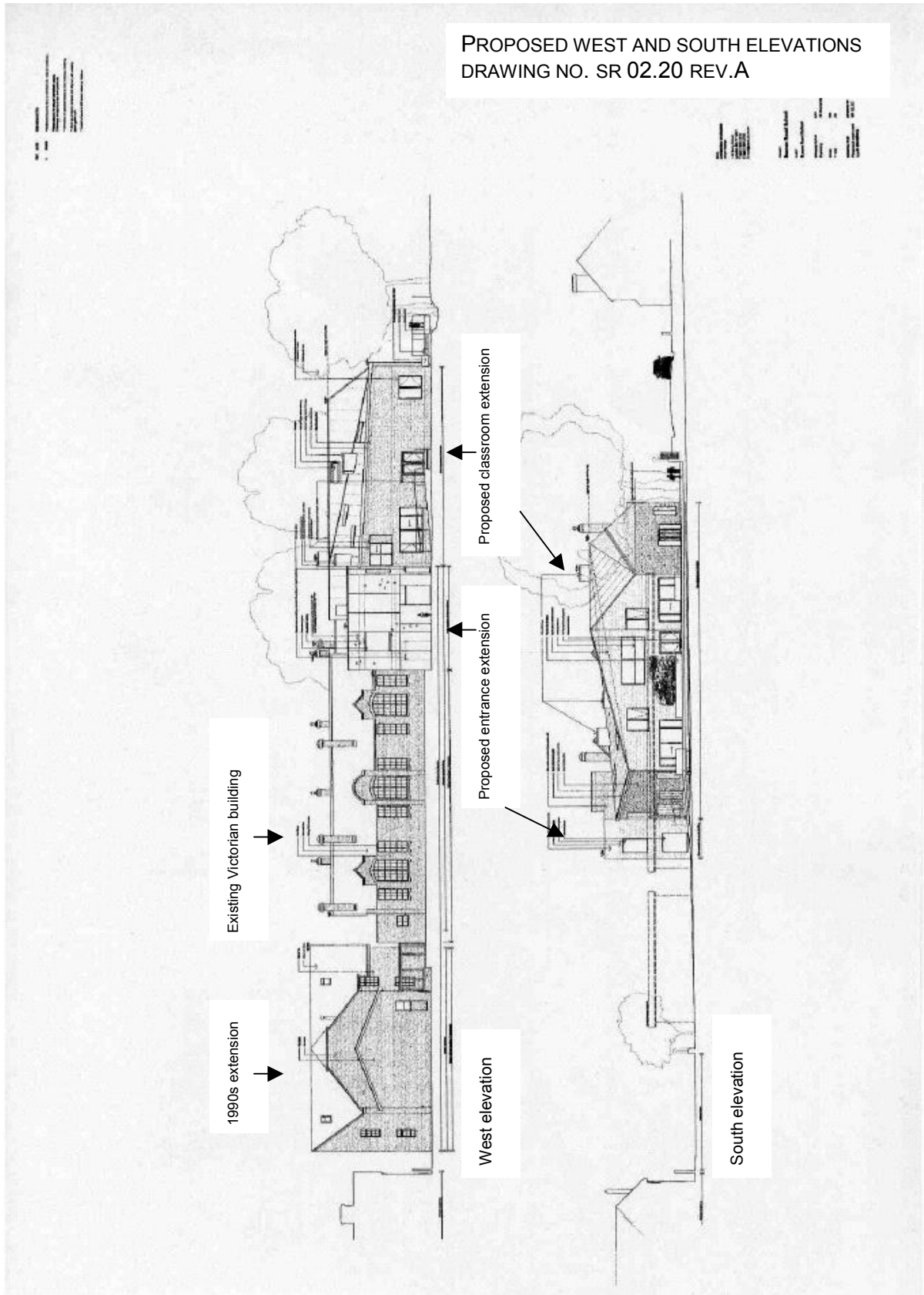
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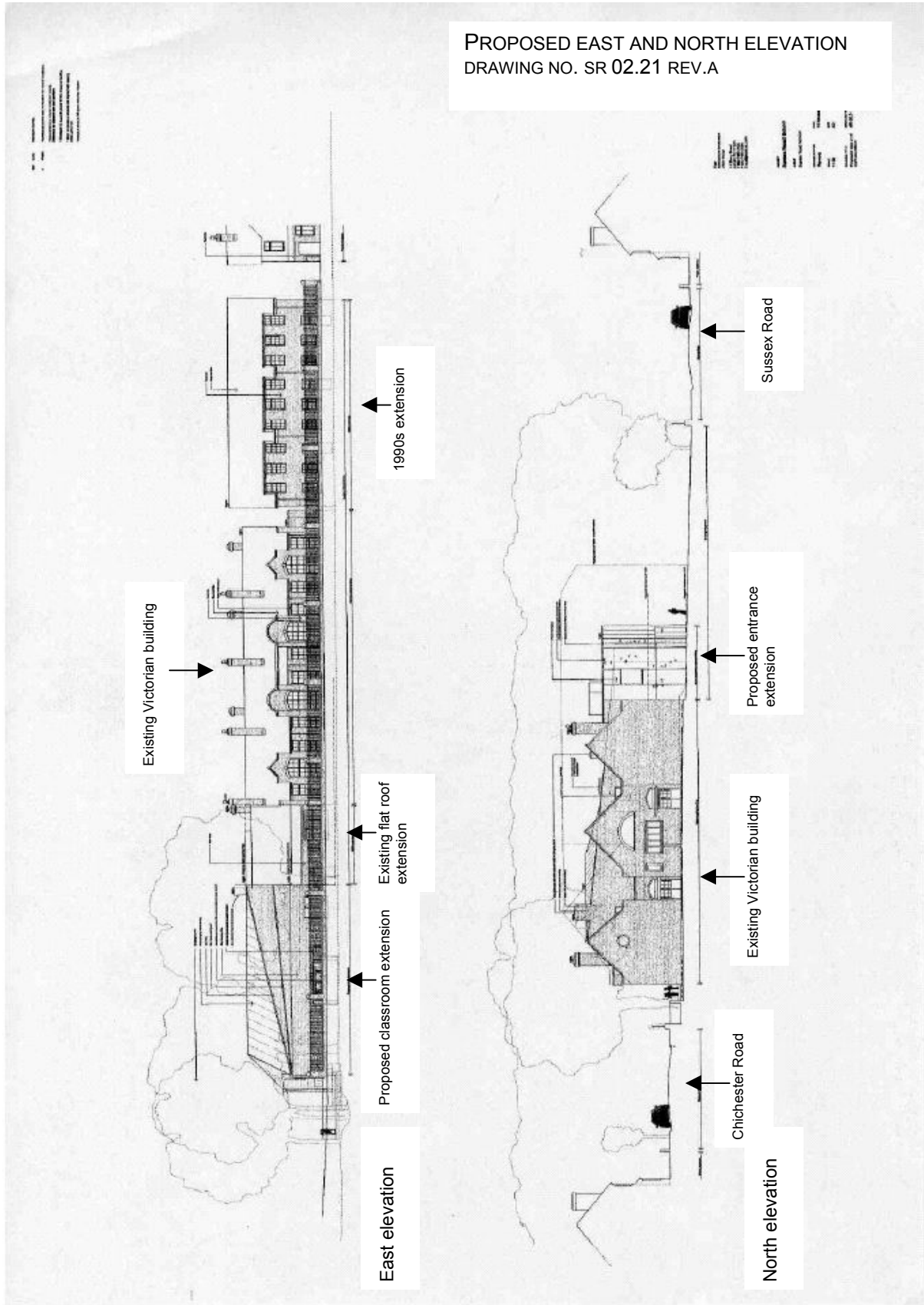
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Proposal

4. The application proposes the demolition of a single storey flat roofed entrance extension and 2 timber buildings housing 4 classrooms, and construction of a new 2 storey extension including 6 classrooms, reception/ office, staff room, head teacher's office, meeting room, toilets and other ancillary accommodation. The application also includes the provision of temporary classrooms and administration facilities on part of the School's playground space. The temporary buildings would accommodate the educational uses displaced during construction. Please see attached drawings. I recognise that some of the drawings included are small for all the detail to be easily read, and I will organise for full copies to be displayed within the council chamber on the day of the Committee meeting.
5. The proposed building would create 897m² of new floor space within the extension. This space would be split between a new reception entrance building and a new classroom extension.
6. The proposed entrance building would be located to the south west corner of the existing school block, over the footprint of the existing entrance extension and part of the hard surfacing on site toward Sussex Road. The extension measures approximately 7m by 9m rising to a roof terrace at a height of 7.5m with a covered stairwell onto the terrace to 8.6m in height. This extension would be tilted at an angle to the existing building line to orient the entrance toward the main pedestrian access to the site. The proposed entrance would accommodate an entrance foyer, reception, meeting room and office accommodation across two floors, with a terrace shown on the roof. The entrance building would be timber clad with larch panels, coated with a clear lacquer and decorated with small brandings of oak leaves and bees. A glazed mirrored sliding entrance door is shown to the extension with flush tinted windows including aluminium flashing.
7. The proposed two-storey classroom extension is shown to the south of the existing building, extending the built envelope toward the boundary with the Judd School. The extension would attach to the existing main school block including a flat roofed extension to the south-east façade, and the new entrance extension proposed. The classroom extension would accommodate 6 classrooms, a staff room, toilets, and ancillary accommodation. The extension is shown under a pitched roof to 8.6m at the ridgeline, to match the ridge of the main school building. Most of the roof is detailed as being finished in zinc roofing material colour coated in matt dark grey, with the east-facing roof to Chichester Road shown in red clay tiles. The footprint of the building is twisted in relation to the existing building line on site to maximise the distance between the extension and residential property opposite in Chichester Road. The school grounds are approximately 1 metre lower in height than property in Chichester Road, which would reduce the scale of the proposed development when viewed from Chichester Road (please see attached drawing numbered SR.02.21 Rev. A). The east and west facing walls would be clad with red clay hanging tiles to relate to the colour and texture of the brickwork of the existing building. The southern elevation, facing the Judd School is detailed with larch timber boards stained a dark ebony colour. The windows to the extension would be aluminium coloured white.
8. The development would be located in close proximity to two oak trees, located on the boundary of the school grounds with Chichester Road (please see attached drawing numbered SAP 02.01 Rev A). The application proposes to retain these trees and the documentation received accompanying the submission includes a tree survey and report. The report identifies that the northern oak tree is not considered to be in good

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condition, deteriorating, with dead wood in the crown. Due to its proximity to the proposed development a reduction in the canopy and potentially the root zone would be necessary to avoid inappropriate damage during construction. The report sets out that the southern oak, which is considered to be in good condition, would lie outside the proposed development site and subject to care to avoid works within the canopy spread should remain in reasonable condition. Further to the tree survey, the applicant has provided a structural engineer's report on the trees in relation to the existing and proposed buildings. The report concludes that whilst the northern most oak tree overhangs the existing building and the proposed building line, given the location of the existing building it is not considered likely that the root zone would have spread toward the proposed site. The report continues, that should the root zone have exceeded the canopy spread into the application site approximately 3% of the total root zone would be affected, which the report considers would not be excessive. The report recommends that a method statement for construction work be prepared with due regard to British Standard BS5837: 2005 (Trees in Relation to Construction).

9. The application confirms that the building has been designed and laid out to ensure inclusive access for all, including matching ground floor heights, a lift, and ramps as necessary. The proposal has also been designed to meet the criteria set out in 'Secured by Design'.

Additional Information from the Applicant

10. The entrance extension proposed as part of the application has been designed and developed through a 'joined up design for schools project' where a client team, including 10 students, were asked to develop a solution to improve the entrance area at the school. The project has been exhibited, initially in the Victoria and Albert Museum in 2005 and has been on a touring exhibition since. In early 2006, the applicant received confirmation from the Department for Education and Skills that they wished to fund the project, with the County Council matching funding.
11. The classroom extension aspect of the application was subject to a separate tender programme, with the two schemes combined together under one planning application.
12. The applicant has confirmed that the development is being proposed to replace existing accommodation, which is considered unsuitable for long term education provision on site. The four classrooms to be replaced are located in wooden buildings, with a further 2 classrooms in the existing school building that the applicant advises are in 'unsuitable or undersized spaces'. Should the extension be completed, the two classrooms to be replaced within the main school building would be released to meet specialist educational needs including a music room and small work areas. The application does not propose an increase in the existing number of pupils or staff attending the site. The applicant has confirmed that the school has a capacity of 420 pupils, with the current school role standing at 384 pupils.

Development Plan Policies

13. The Development Plan Policies summarised below are relevant to consideration of the application.

- (i) The adopted Kent and Medway Structure Plan 2006:

Policy SP1	Seeks to protect and enhance the environment and achieve a sustainable pattern and form of development.
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- Policy SS6 Seeks to improve the built and natural environment, functioning and appearance of the suburbs of the major urban areas, including the provision of services and facilities that serve local needs.
- Policy EN9 Seeks to maintain tree cover and provision of new habitat as part of development proposals.
- Policy QL1 Seeks all development be well designed and of high quality that respond positively to the local character. Development, which would be detrimental to the built environment, amenity, function and character of settlements or the countryside, will not be permitted.
- Policy QL11 Provision will be made for the development and improvement of local services in existing residential areas and in town and district centres particularly where services are deficient.
- Policy TP3 Local Planning Authorities should ensure that development sites are well served by public transport, walking and cycling.

(ii) Tonbridge & Malling Borough Local Plan (1998):

- Policy P4/11 Development proposals must not harm the character and quality of the local environment. Seeks proposals that are appropriate in terms of density, scale, layout, siting, mass, form; and are of high quality design.
- Policy P7/13 Seeks development proposals to which the general public have access to provide suitable and convenient means of access for all pedestrians, and have regard to the needs of those with restricted mobility.

(iii) Tonbridge & Malling Local Development Framework – Core Strategy: Submission Draft (2006):

- Policy CP1 Requires all development to result in a high quality sustainable environment, and that the need for development shall be balanced against the need to protect and enhance the natural and built environment.
- Policy CP25 Requires all development to be well designed and of high quality, and through its scale, density, layout, siting, character and appearance be designed to respect the site and its surroundings; development that would be detrimental to the built environment, amenity and function of a settlement will not be permitted.

Consultations**14. Tonbridge & Malling Borough Council – raises no objection, comments as follows:**

'The Borough Council raises no objection in principle but is extremely concerned about the potential impact on the trees, as the tree survey and report submitted with the application and dated December 2006 does not sufficiently address the impact on the trees. This issue therefore needs to be addressed and considered further before the application is determined'

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15. **Environment Agency** – raises no objection. The advice received can be summarised as follows:

- the site lies within a Source Protection Zone of a public water supply abstraction;
- potable supplies are therefore at risk from activities at the site and all precautions should be taken to avoid discharge and spillage to the ground both during construction and subsequent operation;
- there shall be no discharge of foul or contaminated drainage from the site into either groundwater or any surface waters, whether direct or via soakaways;
- advises action to be taken if during development contamination not previously identified is found to be present.

16. **The Divisional Transportation Manager** – raises no objection, comments as follows:

'This proposal appears to provide enhancements to the school by replacing 6 aged classrooms with 6 new ones. There is no inference of increasing the number of pupils or staff, or affecting the existing parking arrangements. I would therefore raise no objections.'

Local Members

17. The local County Members for Tonbridge Mr G. Horne and Dr T. Robinson were notified of the application on 18 January 2007.

Publicity

18. The application was publicised by the posting of 1 site notice and the notification of 59 neighbouring properties.

Representations

19. 4 letters of representation objecting to the proposal have been received from local residents. The main points raised can be summarised as follows:

- *Concerns about the potential for over shadowing to properties on Chichester Road.*
- *Concerns that the space within the existing school building (2 classrooms, staff room) freed up by the proposed development would be used as/ converted into additional classrooms increasing the number of pupils attending the school.*
- *Concerns about potential impact of any security lighting attached to any new building.*
- *Concerns about the damage to the Oak trees as a result of the development proposed.*
- *Concerns about the potential traffic generated by any construction work or increase in the size of the school roll.*
- *Questions whether further parking provision for the development would be appropriate.*
- *Asks why a single storey option has not been proposed, which potentially would not impact on daylight, the trees, or the playground space available on site.*
- *Objections to the scale of the entrance section of the proposal in relation to the existing entrance extension to be demolished.*
- *Objections to the design of the entrance extension. Concerns that it would be totally out of character with the original Victorian building or any other building in the vicinity.*

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- *Objections to the provision of a roof terrace. Concerns about the potential for overlooking to occur resulting in a loss of privacy to the gardens of residential property.*
- *Concerns that the design of the extensions would be out of keeping with the existing school building and surrounding residential properties. Objections to the external finish of the building(s).*
- *Raises concerns about the longevity of the materials being proposed. Considers that the materials proposed would look tired and tacky within a short space of time.*

Discussion

20. In considering this proposal regard must be had to the Development Plan Policies outlined in paragraph (13) above. Section 38(6) of the Planning and Compulsory Purchase Act (2004) states that applications must be determined in accordance with the Development Plan unless material considerations indicate otherwise. Therefore, this proposal needs to be considered in the context of the Development Plan Policies, Government Guidance and other material planning considerations arising from consultation and publicity.
21. The application proposes a 2-storey extension to the existing main school building including 6 classrooms, reception, staff room, office space, meeting room, toilets and other ancillary accommodation. The main school block consists of a Victorian building extended on a number of occasions to improve accommodation on site. The current extension is being proposed to replace a single storey flat roofed entrance extension, 4 classrooms currently accommodated in 2 timber buildings, and 2 classrooms within the main building that are considered to be too small and impractical to meet current educational standards.

Design and layout

22. The design and layout of the building has attracted objections from nearby residents, who have raised concerns, amongst other matters, over the design and character of the building proposed in relation to the existing buildings on site and the local area, the scale of the proposals, and the potential for overshadowing to occur (please see paragraph (20) above).
23. The key policies to consider in relation to the proposal and its design and layout are policy QL1 of the Kent and Medway Structure Plan 2006, and policy P4/11 of the Tonbridge and Malling Borough Local Plan 1998, and policy CP25 of the emerging draft Tonbridge and Malling Local Development Framework. Policy QL1 seeks that the development should respond positively to the scale, layout, pattern and character of the local environment and presumes against development that would be detrimental to the built environment, amenity, functioning and character of settlements. Tonbridge and Malling Borough Development Plan policies also require development that is appropriate to its surrounding area, and of high quality in terms of design, detailing and the use of appropriate materials.
24. The proposed development positions the extensions to the south of the existing buildings within the school grounds. The development would mainly use the space between the main school buildings and the southern boundary with the Judd School. Amenity/ playground space, an existing flat roofed entrance extension, and 2 timber classroom buildings currently occupy this area. The location selected would logically extend the built development on site along the existing north-south orientation, positioning the proposed extension adjacent to the eastern boundary with Chichester Road. The closest residential property to this location is across Chichester Road,

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approximately 19m to the east, with the closest property on Sussex Road/ Copper Beach View (to the permanent built extensions) approximately 30m to the west, which I do not consider to be unacceptably close. Moreover, the proposed development would reflect the scale of the existing buildings, with the ridgeline of the roof rising to 8.6m to match the current height of the buildings on site.

25. I note that residents on Chichester Road have raised the issue of overshadowing, including concerns about loss of daylight. I consider that the proposed extension reflects an established line of built development that continues through the school grounds and the length of Chichester Road. The layout proposed angles the development away from the eastern boundary further increasing the distances between the proposed building and residential property to the east. Taking account of the established street layout, and variations in the height of the ground, the school site being approximately 1m below the height of property on Chichester Road, I consider that the height and siting of the building is in keeping with the surrounding urban environment and would not have an unacceptable impact in terms of overshadowing or loss of daylight.
26. Further concern has been raised by nearby residents about the scale of the entrance extension in relation to the single storey extension it would replace. The applicant has advised that the existing building is considered to be 'uninviting' and a 'poor space' which does not offer equal accessibility to all visitors to the site. The applicant has confirmed that the proposed entrance building would improve the existing facilities and accommodation provided, and would be approximately 2.5 times the size of the existing entrance section. The new extension would replace a single storey extension with a 2-storey development including a roof terrace. The overall height of this element of the proposals would be appropriately 7.5 m at the roof terrace and 8.6m at the roof of the stairwell. Therefore, the proposals would not exceed the height of the existing school buildings. I would not raise objection to the scale and size of this element of the development; the extension would improve existing poor accommodation and is similar in scale to the existing development on site.
27. Mainly due to the inclusion of a roof terrace, concern has been raised, by nearby residents, about the potential for overlooking of residential property. I would consider that given the distance between the roof terrace and residential property on Sussex Road/ Copper Beach View is over 30m, and the existing hard and soft landscaping on the boundary of the school site and residential property, there would not be an unacceptable loss of privacy to the gardens of residential property. In addition, the use of the roof terrace would be limited to weekdays during normal school hours, further limiting the likelihood that a loss of privacy would occur. The privacy of property in Chichester Road has been reflected in the design proposed with no second storey or high level windows shown to the east facing elevations of the development.
28. Three temporary mobile buildings are shown within the School's playground for use during the construction programme, which would last approximately 32 weeks. These buildings would be closer to the property on Sussex Road, approximately 15m at the closest point. The buildings proposed are a standard approach used in many schools across the county and would accommodate 4 displaced classes and the administration facilities during construction. Bearing in mind they would only be located on site for a temporary period, to be removed on completion of the scheme, I do not consider that their siting or design would not have an unacceptable impact on the locality for a temporary period, especially as the permanent development would replace 2 timber buildings that have been used on site for over 25 years, and which do not make a positive contribution to the character of the local area. The removal of the temporary accommodation could be addressed via a planning condition.

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29. In considering the design of the development being applied for, I propose to consider the two main component parts (classroom and entrance extensions) separately. The design of the classroom element of the proposal has drawn from the architectural merits of the main Victorian school building it extends, reflecting the height, mass, scale and materials of the existing building. The design details red clay hanging tiles to the east and west elevations and to part of the roof facing the east. The use of the tiles proposed would draw on the red brickwork and tiled roof of the existing building and on the tiles seen on surrounding Victorian housing. The southern elevation, facing the Judd School, is shown in horizontal timber boarding stained in a dark ebony colour. This approach would reflect the tree lined boundary with the Judd School and would be further enhanced with the planting of climbing plants. The remaining pitched roof that is too shallow for clay tiles would be finished in a zinc roof covering treated in a matt dark grey colour. Aluminium windows are shown to the extension, colour coated in white to reflect the windows in the existing building. Whilst this extension would not be a direct continuation of the existing building design, the approach has been developed to reflect and enhance the surrounding built environment. I would consider that the approach would create an interesting addition to development on site that would provide an acceptable permanent solution to existing substandard accommodation.
30. The entrance extension element proposed in the application has been designed in partnership with a client team, including 10 pupils from the School. This proposal has been brought forward to replace a poor quality flat roof entrance extension. The approach shown on the plans proposes a contemporary solution to the redevelopment of the School's main entrance. The design and materials proposed has resulted in some objections being received from local residents. Objections received raise concern that this aspect of the application would be out of keeping with the existing buildings on site and the surrounding area, and that the materials and detailing proposed would not reflect the surroundings, and would potentially look tired and dated over time.
31. The entrance extension is shown as a 2-storey flat roofed building clad in large larch timber panels with large tinted glass windows, aluminium flashing, and a glassed mirrored entrance. The larch panelling would be decorated with small brands of oak leaves and bees that are the symbols of the school. These brands would be used intermittently across the structure in a manor similar to that shown on the attached drawing numbered SR.02.20 Rev. A. The brands proposed would be approximately 90 mm by 50 mm finished in black. However, the final design would need to be subject to further detailed consideration should the application be granted permission.
32. Amongst other points, the issue of the design of the entrance extension, the materials, and detailing proposed have been discussed further with the applicant's Architect, who has responded with the following justification:

'The new entrance building brings a new face to the school. This meets the client's requirements for improved access, use and identity for the school, through the use of a clear design approach.

External use of larch plywood is not unusual. With careful detailing, sound construction and appropriate maintenance, the plywood (three layers of solid larch, detailed to prevent warping and shrinkage) will last as well as any material. with the rich reflectivity of the glazing enhancing the tactile qualities of the façade and its relationship with its surroundings.

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The timber façade will not sit in stark contrast to the brick and clay, but rather the warm tones of the well-protected larch will complement the red tones of the clay materials.

Branding in the plywood will bring a delicate quality of scale to the school, and reflect the uniqueness of the school.'

33. In respect of the design of the entrance, the proposals are highly contemporary in their nature and approach and would contrast with the existing red brick Victorian building it extends. The proposal represents a modern approach to the extension of the School that would upgrade the facilities on site and provide a clearly identified point of entry. In my opinion, the approach has the potential to make a bold statement. I am satisfied that the materials proposed are of a high specification that would enhance and contrast with the surrounding built environment, and subject to careful maintenance and detailing during construction, should stand the test of time. Therefore, subject to appropriate conditions covering the development to be completed using the materials proposed and further detailed drawings setting out the specifics of the branding proposed and detailed elevation drawings of the entrance building providing the specifics of the construction techniques and detailed finish to the building, I would not raise a planning objection to this element of the design.
34. Accordingly, I consider that the proposal application as a whole would replace existing temporary timber structures and a poor quality flat extension on site providing a practical solution to extending the built development at the school, with a design that both complements and contrasts with the surrounding environment. I do not consider that the proposal would have an undue impact on residential amenity either through loss of privacy or overshadowing, and consider that the proposal is appropriate in terms of the scale, layout and character of the local environment.

Landscaping

35. As outlined above, 2 oak trees are located along the east boundary of the application site with Chichester Road. Therefore, any development would be in close proximity to the trees (within 2m to the closest northern oak, 3.5m to the southern oak). Given the distance involved it would be likely that any development of the site proposed would impact on the trees existing canopy and root zones and could potentially influence their continued retention. Tonbridge and Malling Borough Council has expressed strong concern about the potential impact of developing the site on these trees, and that the survey work originally submitted with the application does not go far enough to establish that these trees can be appropriately protect and retained. Concerns have also been received from local residents about the potential for damage or loss of these trees during any development work.
36. Further to the Borough Council's comments we have been in discussions with the Architects on the likely impacts to the oak trees. They have confirmed the commitment to retaining the trees as part of the development of the site, providing a further structural engineer's report on the trees in association to the development proposed. The report concludes that, subject to the completion of a method statement for the development that provides detailed consideration to the protection of the trees during construction, the trees can be practically retained. At the time of writing this Committee report additional supporting information from the applicant, including the engineer's report, has been sent to the Borough Council for further consideration by the Tree Officer.
37. In my opinion, I would consider that the 2 oak trees have a wider impact on the character of Chichester Road and it would be appropriate to make every effort to ensure

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their continued retention. Therefore, my final recommendation will be made subject to the further views of the Borough Council's Tree Officer. Should the Borough Council confirm that the further information supplied by the applicant satisfies their initial concerns, I would recommend appropriate conditions covering the submission of a detailed tree protection plan in accordance with the appropriate British Standard advice, and replacement planting should this become necessary as a result of either tree dying during a period of 5 year following completion of the development.

Highway concerns

38. Concern has been raised by nearby residents that the development proposed could result in an increase in the school roll and as such an increase in traffic attending the site. I would note that the application does not propose an increase in the size of the school roll. The development would involve the direct replacement of 6 substandard classrooms, 4 with the timber buildings and a further 2 within the main school building that are considered too small and impractical to meet modern standards. The applicant has confirmed that the school at present has a capacity of 420 pupils and has a current roll of 384 pupils, the overall capacity of the school would remain unchanged as a result of the development. The timber classrooms would be demolished as a result of the extension, and the space freed up within the existing building would be adapted to accommodate specialist provision for a music room and small group work areas.
39. Given the above there would be no justification for requiring further provision of vehicle parking at the site. I note the concern raised by nearby residents about construction traffic associated with the scheme, however any increase would be for a temporary period and would be limited by the size of the development proposed. The Divisional Transportation Manager has considered the development as proposed and is not raising an objection. Therefore, I would not raise a planning objection to the application on highway grounds.

Alternate solutions

40. One of the letters of representation received from a nearby resident raised the question of why a single storey solution was not considered, which would potentially have less impact on adjoining properties. The applicant's Architect has confirmed that single storey options were considered and developed during the design phase of the project. However, the reason the final solution selected is a two-storey proposal is due to the need to maintain and improve the external play space available to the school. Accommodating the necessary replacement internal teaching space and facilities within a single storey development would have increased the footprint of the extension, potentially compromising the level of external space available to the School.

Security lighting

41. The concerns raised by local residents about potential security lighting attached to any building impacting on residential amenities, could be covered by way of a condition on any decision notice requiring the submission of details for prior approval. The applicant's Architect has confirmed that any external lighting would be kept to a minimum and would be focused on making the main entrance safe during dark winter mornings and evenings only, advising that any lighting would be time controlled to switch off automatically, with lighting levels designed to be similar to existing arrangements and to avoid glare at residential properties. I am satisfied that this issue can be covered by way of a planning condition.

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Conclusion

42. Overall, I consider that the development as proposed is appropriate in its size, scale, height, layout and siting in relation to the existing school buildings and surrounding residential property. The design of the classroom extension would complement the existing development on site through its use of materials and scale, whilst clearly establishing it as a modern and innovative addition to the existing buildings. The entrance extension proposed has proved more controversial with its contrasting contemporary approach. However, subject to conditions covering the detailing of the building, I would not consider that the addition of this development would detract from the overall character of the school building or surrounding built environment. The only outstanding issue is the potential impact of the development on the oak trees to the east boundary, which is subject to further negotiation. Therefore, subject to the further views of Tonbridge and Malling Borough Council on the retention of the trees, I would consider that the development as proposed accords with the appropriate Development Plan policies and recommend accordingly.

Recommendation

43. SUBJECT to any further views received from Tonbridge and Malling Borough Council relating to the additional structural engineer's report on the potential impact on the 2 oak trees prior to Committee Meeting, I RECOMMEND that PERMISSION BE GRANTED SUBJECT TO the imposition of conditions, including the following:

- the development to be commenced within 3 years;
- the development to be carried out in accordance with the permitted details;
- the submission of a tree protection plan for prior approval;
- the submission of full details of the branding proposed and its positioning on the building;
- elevation drawings at an appropriate scale detailing the final finish of the wood panelling to the entrance extension;
- the development to be constructed using the materials detailed in the application;
- submission of details of all external lighting proposed for prior approval;
- hours of working during construction;
- no discharge of foul or contaminated drainage into groundwater;
- requirements for the treatment of ground contamination not previously identified on site; and
- removal of temporary buildings upon completion of the works.

Case officer – James Bickle

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Background documents - See section heading
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